

# CITY OF KELOWNA

## BYLAW NO. 10670

### Text Amendment No. TA09-0007 to City of Kelowna Zoning Bylaw No. 8000 – Section 13 – Urban Residential Zones – Adding New Hillside Zones

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts that City of Kelowna Zoning Bylaw No. 8000 be amended as follows:

1. THAT **Table of Contents, Section 13: Urban Residential Zones** be amended to add to the end of the section the following:

“13.14	RH1	Hillside Large Lot Residential	RH14-1
	RH1s	Hillside Large Lot Residential with Secondary suite	RHs14-1
13.15	RH2	Hillside Two Dwelling Housing	RH2-1
13.16	RHM3	Hillside Cluster Housing	RHM3-1
13.17	RHM4	Hillside Cluster Multiple Housing	RHM4”

2. AND THAT **Section 1 – General Administration, 1.3 Zoning Map, 1.3.1** be amended by adding to the end of **Section 13 – Urban Residential Zones** the following:

RH1/ RH1s	RH1 Hillside Large Lot Residential/ RH1s Hillside Large Lot Residential with Secondary suite
RH2	Hillside Two Dwelling Housing
RHM3	Hillside Cluster Housing
RHM4	Hillside Cluster Multiple Housing

3. AND THAT **Section 13 – Urban Residential Zones** be amended by adding new sections as attached to and forming part of this bylaw as Schedule “A”;
4. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this

Amended at first reading by the Municipal Council this

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Approved under the Transportation Act this

(Approving Officer-Ministry of Transportation)

Adopted by the Municipal Council of City of Kelowna on the.

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
City Clerk

**13.14 RH1 – Hillside Large Lot Residential****RH1s – Hillside Large Lot Residential with Secondary Suite****13.14.1 Purpose**

To provide a zone for single detached housing on large-sized, serviced hillside lots with the express goal of minimizing the impacts of development on the natural environment and visual character of Kelowna.

**13.14.2 Definitions**

Despite conflicting definitions found elsewhere in this bylaw, the following definitions shall apply for the purposes of interpreting the regulations of this zone:

*GRADE, BUILDING* means the elevation of the finished surface of the ground established in conformance with an approved subdivision grading plan, excluding localized depressions such as for vehicle or pedestrian entrances. **Retaining walls** shall not raise the effective elevation of grade for purposes of measuring *height* of a building or **structure**.

*HEIGHT* means, with respect to a building, the maximum vertical distance above a straight line drawn between the midpoint of the front of the approved Building Envelope Covenant and the midpoint of the rear of the approved Building Enveloped Covenant measured to the highest point of the **structure** of a non-sloping roof, or the mid-point between the eaveline and the ridge of a sloping roof, excluding those **structures** identified in Section 6.6.1 of this bylaw.

**13.14.3 Principal Uses**

- (a) **single dwelling housing**

**13.14.4 Secondary Uses**

- (a) **bed and breakfast homes**
- (b) **care centres, minor**
- (c) **group homes, minor**
- (d) **home based businesses, major**
- (e) **home based businesses, minor**
- (f) **secondary suite (RH1s only)**

**13.14.5 Buildings and Structures Permitted**

- (a) one **single detached house** (which may contain a **secondary suite** in the RH1s zone)
- (b) permitted **accessory buildings** and **structures**

**13.14.6 Subdivision Regulations**

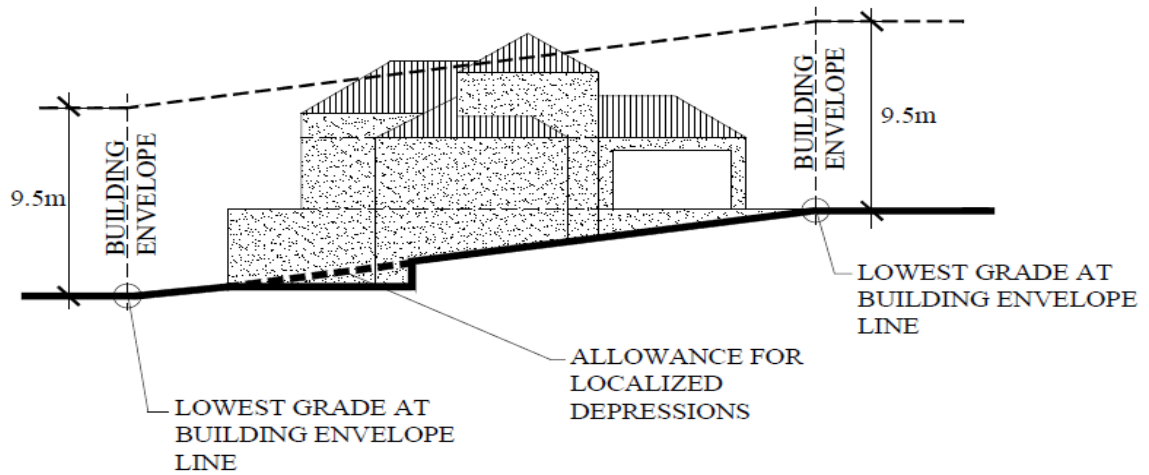
- (a) For lots on the upslope side of a road, the average **lot width** is 18.0 m, but the minimum **lot width** is 16.0 m. For lots on the downslope side of a road, the average **lot width** is 21.0 m, but the minimum **lot width** is 18.0 m. For the purpose of determining average **lot width**, include those lots zoned or to be zoned RH1 and RH2 for that portion of a subdivision approved in a Preliminary Layout Review of Subdivision by the Subdivision Approving Officer.
- (b) The minimum **lot depth** is 20.0 m.
- (c) The minimum **lot size** for a subdivision is 600 m<sup>2</sup>.

**13.14.7 Development Regulations**

- (a) The maximum **site coverage** is 33% and together with the areas of driveways and parking shall not exceed 40%. If no building elevation exceeds a *height* of 2 **storeys**, the maximum **site coverage** shall be 40% and together with the areas of driveways and parking shall not exceed 50%.
- (b) The minimum setback for a **front yard** or flanking street is 3.0 m except that it is 6.0 m measured from the back of curb or sidewalk, whichever is closest, to a garage or **carport** having vehicular entry from the front of the garage.
- (c) Required **side yards** shall be calculated using one of the following two methods:
  - 1. Where no elevation of development exceeds 6.5 m or 2 **storeys** in *height* at any point, the minimum **side yard** is 1.5 m and the sum of both **side yards** shall not be less than 4.0 m. Where development exceeds the lesser of 6.5m or 2 **storeys** in *Height*, the minimum **side yard** is 2.0 m and the sum of both **side yards** shall not be less than 5.0 m. At time of subdivision and building envelope covenant determination, adjacent lots shall coordinate their **side yard** setbacks to form larger areas of naturally-graded open space, to achieve preservation of a natural feature, and/or to achieve preservation of views.
  - 2. Where no elevation of development exceeds 6.5 m or 2 **storeys** in *height* at any point, the minimum **side yard** is 1.5 m when a naturalized corridor with a width equal to 5% of the total road frontage for that phase of subdivision is protected or dedicated at the time of subdivision. Where development exceeds the lesser of 6.5 m or 2 **storeys** in *height*, the minimum **side yard** is 2.0 m when a naturalized corridor with a width equal to 5% of the total road frontage for that phase of subdivision is protected or dedicated at the time of subdivision.
- (d) The minimum rear yard is 7.5 m except that it is 1.5 m for **accessory buildings**. Where the **lot width** exceeds the lot depth the minimum rear yard is 4.5 m provided that one **side yard** shall have a minimum width of 4.5 m.
- (e) For panhandle lots, notwithstanding section 13.14.6(b), the required **front yard** setback shall be applied from where the lot first equals or exceeds the minimum **lot width**. The location of the front, rear, and **side yards** shall be determined at time of subdivision and secured with a building envelope covenant on title.

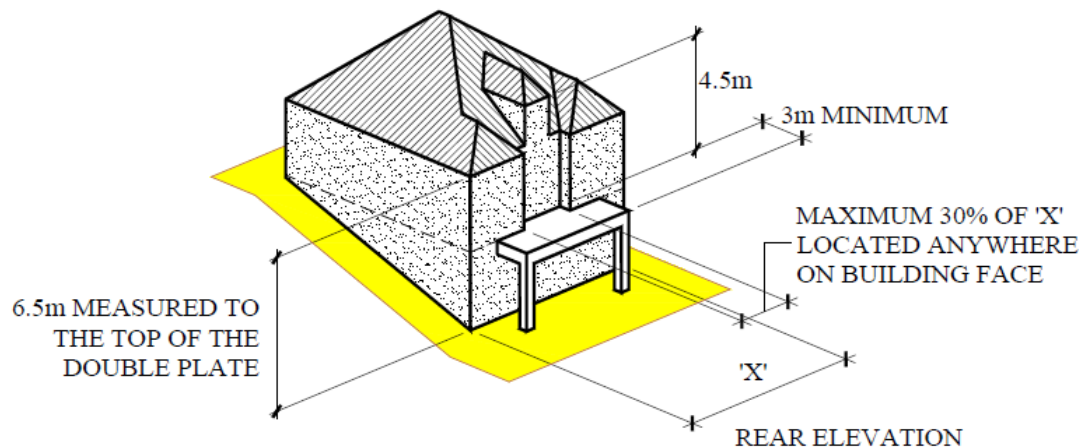
**13.14.8 Building Form and Massing**

- (a) The maximum *height* is 9.5 m, except it is 4.5 m for **accessory buildings and structures**.



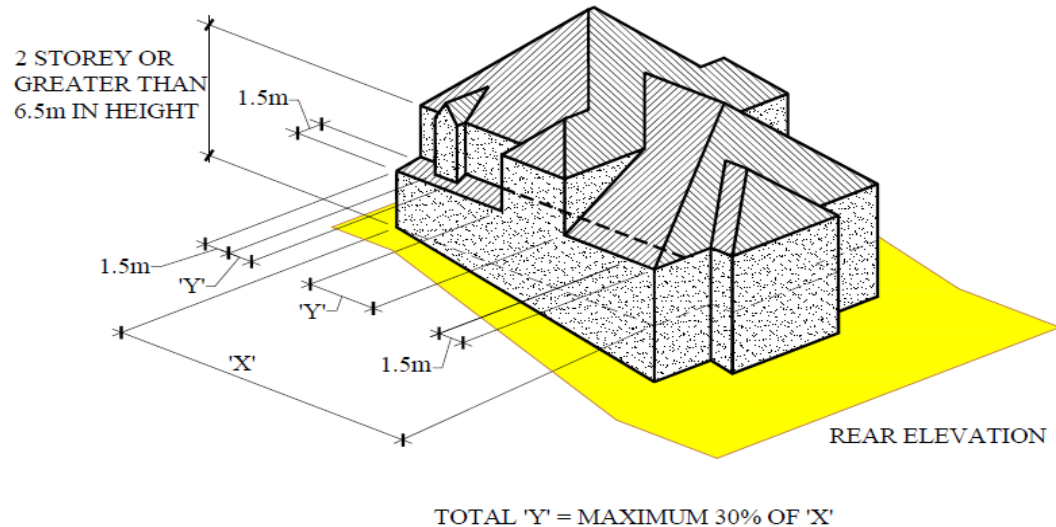
**Diagram 13.1: 9.5m Maximum Height As Measured From Straight Line Between Building Envelope Points**

- (b) The maximum *height* of any vertical wall element facing a **front yard**, rear yard or flanking street (including walkout basements), as measured from the average *Building Grade* of the applicable building face, is the lesser of 6.5 m or 2 **storeys** above which the building must be stepped back a minimum of 2.1 m. A maximum of 30% of the length of the building elevation may exceed 6.5 m in *height*, provided that a deck and roof **structure** projecting a minimum of 3.0 m from the face of the wall breaks up the wall face such that no wall face directly above or below the deck and roof **structure** exceeds 4.5 m in *height*.



**Diagram 13.2: 6.5m Vertical Wall Element Interrupted by Deck**

- (c) Where any elevation of a building exceeds the lesser of 6.5 m or 2 **storeys** in *height*, that portion of the **side yard** elevation above the first **storey** must be stepped back an additional 1.5 m, as measured from the outside wall of the floor below. Dormers or enclosed stairways may project into this step back by 1.5 m provided that the sum of their lengths does not exceed 30% of the length of the elevation of that **storey**. These projections are not permitted within 1.5 m of the front or rear building elevations.



**Diagram 13.3: Sideyard Building Articulation**

- (d) All decks (including the supporting posts or columns) shall not exceed 4.5 m or 1 storey in *height* inclusive of any support **structure** or **retaining wall** (within a horizontal distance of 1.2 m) and shall be limited to 60% the width of the applicable building face. *Height* will be measured from the grade at the base of the deck, post, or column to the highest point of the deck, exclusive of railings.
- (e) The horizontal exterior wall face on the down slope elevation must be staggered or offset by a minimum of 1.2 m, a minimum of two times.
- (f) **Accessory buildings** and **structures** shall not exceed 4.5 m in *height*.

### 13.14.9 Other Regulations

- (a) A **secondary suite** may only be located within a single detached **dwelling**.
- (b) In addition to the regulations listed above, other regulations may apply. These include the general development regulations of Section 6 (accessory development, yards, lighting, stream protection, etc.), the landscaping and fencing provisions of Section 7, the parking and loading regulations of Section 8, and the specific use regulations of Section 9.
- (c) No vehicular parking or storage is permitted in a **side yard** setback between a permitted principal **dwelling** and the adjacent property line.

**13.15 RH2 – Hillside Two Dwelling Housing****13.15.1 Purpose**

To provide a zone for a maximum of two **dwelling** units on large-sized, serviced hillside lots with the express goal of minimizing the impacts of development on the natural environment and visual character of Kelowna.

**13.15.2 Definitions**

Despite conflicting definitions found elsewhere in this bylaw, the following definitions shall apply for the purposes of interpreting the regulations of this zone:

*GRADE, BUILDING* means the elevation of the finished surface of the ground established in conformance with an approved subdivision grading plan, excluding localized depressions such as for vehicle or pedestrian entrances. **Retaining walls** shall not raise the effective elevation of grade for purposes of measuring *height* of a building or **structure**.

*HEIGHT* means, with respect to a building, the maximum vertical distance above a straight line drawn between the midpoint of the front of the approved Building Envelope Covenant and the midpoint of the rear of the approved Building Enveloped Covenant measured to the highest point of the **structure** of a non-sloping roof, or the mid-point between the eaveline and the ridge of a sloping roof, excluding those **structures** identified in Section 6.6.1 of this bylaw.

**13.15.3 Principal Uses**

- (a) **single dwelling housing**
- (b) **two dwelling housing**

**13.15.4 Secondary Uses**

- (a) **bed and breakfast homes**
- (b) **care centres, minor**
- (c) **group homes, minor**
- (d) **home based businesses, major**
- (e) **home based businesses, minor**

**13.15.5 Buildings and Structures Permitted**

- (a) one **single detached house**
- (b) **duplex housing**
- (c) **semi-detached housing**
- (d) two **single detached houses**
- (e) permitted **accessory buildings** and **structures**

**13.15.6 Subdivision Regulations**

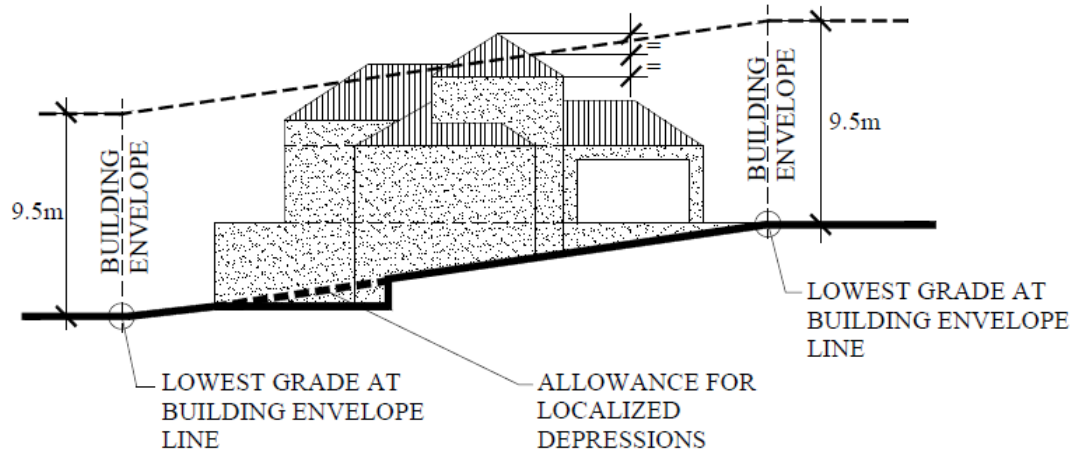
- (a) The minimum **lot width** is 25.0 m. It is 27.0 m for a corner lot.
- (b) The minimum **lot depth** is 20.0 m.
- (c) The minimum **lot area** is 1100 m<sup>2</sup>.

**13.15.7 Development Regulations**

- (a) The maximum **site coverage** is 33% and together with the areas of driveways and parking shall not exceed 40%. If the building *Height* at no point exceeds 2 **storeys**, the maximum **site coverage** shall be 40% and together with the areas of driveways and parking shall not exceed 50%.
- (b) The minimum setback for a **front yard** or flanking street is 3.0 m except that it is 6.0 m measured from the back of curb or sidewalk, whichever is closest, to a garage or **carport** having vehicular entry from the front of the garage.
- (c) Required **side yards** shall be calculated using one of the following two methods:
1. Where development does not exceed 6.5m or 2 **storeys** in *height* at any point, the minimum **side yard** is 1.5 m and the sum of both **side yards** shall not be less than 4.0 m. Where development exceeds the lesser of 6.5m or 2 **storeys** in *height*, the minimum **side yard** is 2.0 m and the sum of both **side yards** shall not be less than 5.0 m. At time of subdivision and building envelope covenant determination, adjacent lots shall coordinate their **side yard** setbacks to form larger areas of naturally-graded open space, to achieve preservation of a natural feature, and/or to achieve preservation of views.
  2. Where development does not exceed 6.5 m or 2 **storeys** in *height* at any point, the minimum **side yard** is 1.5 m when a naturalized corridor with a width equal to 5% of the total road frontage for that phase of subdivision is protected or dedicated at the time of subdivision. Where development exceeds the lesser of 6.5 m or 2 **storeys** in *height*, the minimum **side yard** is 2.0 m when a naturalized corridor with a width equal to 5% of the total road frontage for that phase of subdivision is protected or dedicated at the time of subdivision.
- (d) The minimum rear yard is 7.5 m except that it is 1.5 m for **accessory buildings**. Where the **lot width** exceeds the lot depth the minimum rear yard is 4.5 m provided that one **side yard** shall have a minimum width of 4.5 m.
- (e) For panhandle lots, notwithstanding section 13.15.6(b), the required **front yard** setback shall be applied from where the lot first equals or exceeds the minimum **lot width**. The location of the front, rear, and **side yards** shall be determined at time of subdivision and secured with a building envelope covenant on title.
- (f) Semi-detached and duplex housing shall provide a minimum area of 30 m<sup>2</sup> of **private open space** per **dwelling** and group homes, minor shall provide a minimum area of 7.5 m<sup>2</sup> of **private open space** per bedroom in addition to the principal **dwelling**. This may be in required side or rear yards provided the minimum dimension of the space is 4.5 m.
- (g) A site may be developed with a maximum of two single detached housing units. The two single detached housing units must be separated by a minimum distance of 4.5 m.

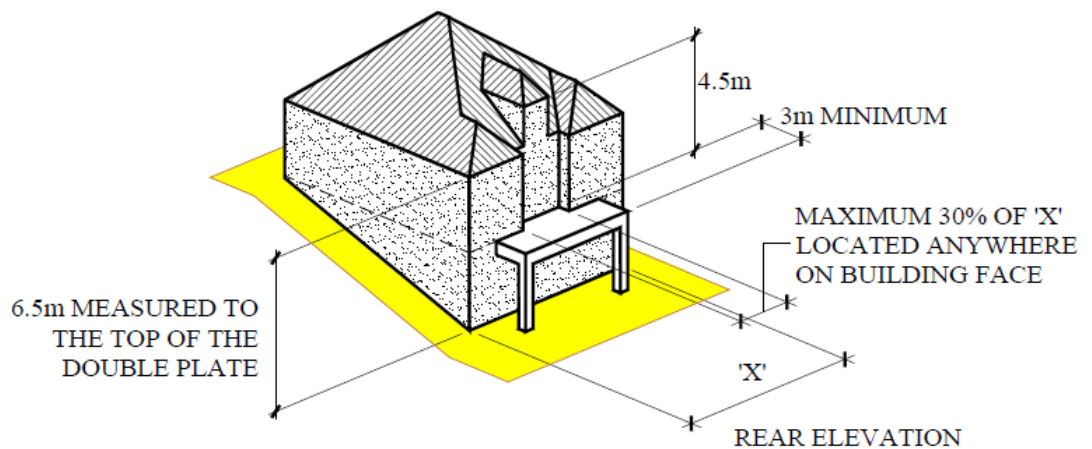
**13.15.8 Building Form and Massing**

- (a) The maximum *height* is 9.5 m, except it is 4.5 m for **accessory buildings and structures**.



**Diagram 13.4: 9.5m Maximum Height As Measured From Straight Line Between Building Envelope Points**

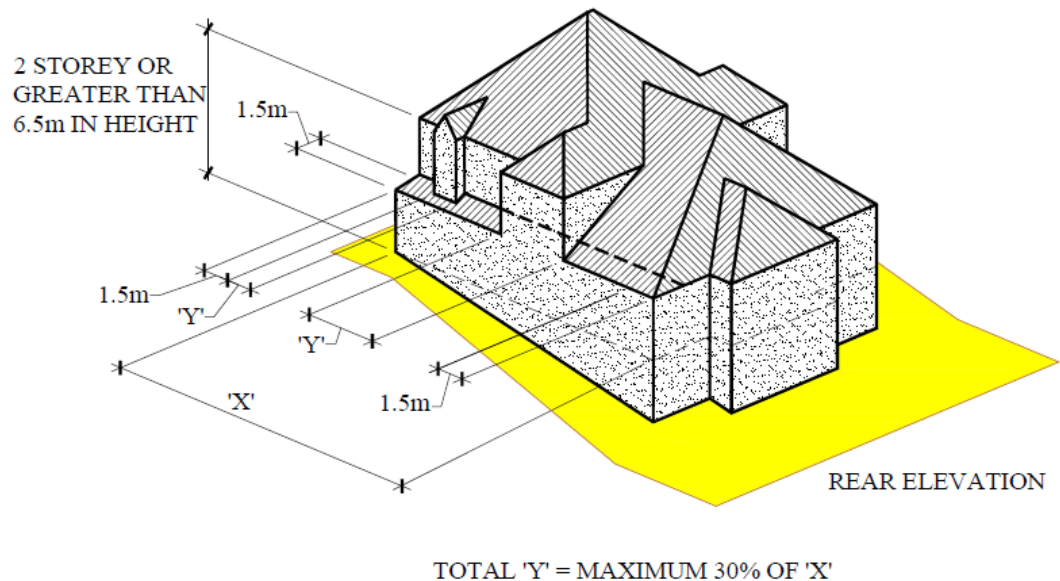
- (b) The maximum *height* of any vertical wall element facing a **front yard**, rear yard or flanking street (including walkout basements), as measured from the average *Building Grade* of the applicable building face, is the lesser of 6.5 m or 2 **storeys** above which the building must be stepped back a minimum of 2.1 m. A maximum of 30% of the length of the building elevation may exceed 6.5 m in *height*, provided that a deck and roof **structure** projecting a minimum of 3.0 m from the face of the wall breaks up the wall face such that no wall face directly above or below the deck and roof **structure** exceeds 4.5 m in *height*.



**Diagram 13.5: 6.5m Vertical Wall Element Interrupted by Deck**



- (c) For buildings that exceed at any point the lesser of 6.5 m or 2 **storeys** in *height*, that portion of the **side yard** elevation above the first **storey** must be stepped back an additional 1.5 m, as measured from the outside wall of the floor below. Dormers or enclosed stairways may project into this step back by 1.5 m provided that the sum of their lengths does not exceed 30% of the length of the elevation of that **storey**. These projections are not permitted within 1.5 m of the front or rear building elevations.



**Diagram 13.6: Sideyard Building Articulation**

- (d) All decks (including the supporting posts or columns) shall not exceed 4.5m or 1 storey in *height* inclusive of any support **structure** or **retaining wall** (within a horizontal distance of 1.2 m) and shall be limited to 60% the width of the applicable building face. *Height* will be measured from the grade at the base of the deck, post, or column to the highest point of the deck, exclusive of railings.
- (e) The horizontal exterior wall face on the down slope elevation must be staggered or offset by a minimum of 1.2 m, a minimum of two times.
- (f) **Accessory buildings** and **structures** shall not exceed 4.5 m in *height*.

### 13.15.9 Other Regulations

- (a) In addition to the regulations listed above, other regulations may apply. These include the general development regulations of Section 6 (accessory development, yards, projections into yards, lighting, stream protection, etc.), the landscaping and fencing provisions of Section 7, the parking and loading regulations of Section 8, and the specific use regulations of Section 9.
- (b) No vehicular parking is permitted in a **side yard** setback between a permitted principal **dwelling** and the adjacent property line.
- (c) All semi-detached and duplex housing shall be designed so there is driveway access for each **dwelling**.

## 13.16 RHM3 – Hillside Cluster Housing

### 13.16.1 Purpose

To provide a **zone** for comprehensively planned clusters of **multiple residential dwelling** units with urban services. The goal is to minimize the impacts of development on the natural environment, topography, open space, and visual hillside character of Kelowna. Site-wide density including areas of voluntary dedication and protection is to be generally consistent with the **Single / Two Unit Residential** - Hillside Official Community Plan future land use designation; however, the form and character of development may include **multiple residential dwelling** units.

### 13.16.2 Definitions

Despite conflicting definitions found elsewhere in this bylaw, the following definitions shall apply for the purposes of interpreting the regulations of this zone:

*GRADE, BUILDING* means the elevation of the finished surface of the ground established in conformance with an approved subdivision grading plan, excluding localized depressions such as for vehicle or pedestrian entrances. **Retaining walls** shall not raise the effective elevation of grade for purposes of measuring *height* of a building or **structure**.

*HEIGHT* means, with respect to a building, the maximum vertical distance above a straight line drawn between the lowest corner of the front of the approved Building Envelope Covenant and the lowest corner of the rear of the approved Building Enveloped Covenant measured to the highest point of the **structure** of a non-sloping roof, or the mid-point between the eaveline and the ridge of a sloping roof, excluding those **structures** identified in Section 6.6.1 of this bylaw.

### 13.16.3 Principal Uses

- (a) **single dwelling housing**
- (b) **two dwelling housing**
- (c) **three dwelling housing**
- (d) **four dwelling housing**
- (e) **multiple dwelling housing**

### 13.16.4 Secondary Uses

- (a) **home based businesses, minor**
- (b) **care centres, minor**
- (c) **group homes, minor**

**13.16.5 Buildings and Structures Permitted**

- (a) **single detached house**
- (b) **semi-detached housing**
- (c) **duplex housing**
- (d) **three-plex housing**
- (e) **four-plex housing**
- (f) **row housing**
- (g) **stacked row housing**
- (h) permitted **accessory buildings** and **structures**

**13.16.6 Subdivision Regulations**

- (a) For strata **development** containing **three dwelling housing**, **four dwelling housing**, or **multiple dwelling housing**:
  - i) The minimum **site width** is 30.0 m.
  - ii) The minimum **site depth** is 30.0 m.
  - iii) The minimum **site area** is 5000 m<sup>2</sup>.
- (b) For strata **development** containing **single dwelling housing** or **two dwelling housing** the Subdivision Regulations of either the RU2 – Medium Lot Housing, RU3 – Small Lot Housing or RU5 – Bareland Strata Housing zones shall be applied, as determined by the Director of Land Use Management, except as follows:
  - i) The minimum **site area** is 5000 m<sup>2</sup>.
- (c) For fee simple **development**, the Subdivision Regulations of either the RU2 – Medium Lot Housing or RU3 – Small Lot Housing zones shall be applied, as determined by the Director of Land Use Management, except as follows:
  - i) The minimum **site area** is 5000 m<sup>2</sup>.

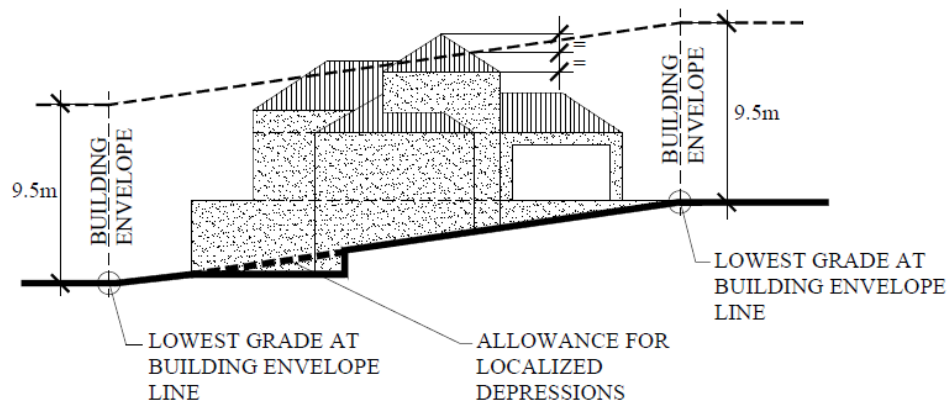
**13.16.7 Development Regulations**

- (a) On a fee simple lot or a **bareland strata lot** containing **single dwelling housing** or **two dwelling housing**, the development regulations of the RU2 – Medium Lot Housing, RU3 – Small Lot Housing or RU5 – Bareland Strata Housing shall be applied, as determined by the Director of Land Use Management, except as follows:
  - i) For **bareland strata** development, the minimum **bareland strata lot** setback for a **front yard** or flanking street shall be measured from the back of curb or sidewalk, whichever is closest, to a garage or **carport** having vehicular entry from the front.

- (b) On a **lot** containing three or more attached **dwelling** units:
- i) The maximum density is 22 **dwelling**s per hectare. Maximum density may be calculated using the original site area, but is dependent on the protection of environmentally sensitive features, hazardous condition areas (including slopes greater than 30%), and visually significant features. It may be possible that the maximum density may not be achievable on the resulting developable areas.
  - ii) The maximum **building site coverage** is 40%, provided that the maximum **site coverage** of **buildings**, driveways, and parking areas is 50%.
  - iii) No building or **structure** is permitted within 4.5m of a property line or protected area, except for required **front yards**.
  - iv) The minimum site **front yard** is 3.0 m except that it is 6.0 m measured from the back of curb or sidewalk, whichever is closest, to a garage or **carport** having vehicular entry from the front.
  - v) **Dwellings** or groups of **dwellings** must be separated by a minimum of 4.5 m. Vehicle parking or storage is not permitted in this area.

### 13.16.8 Building Form and Massing

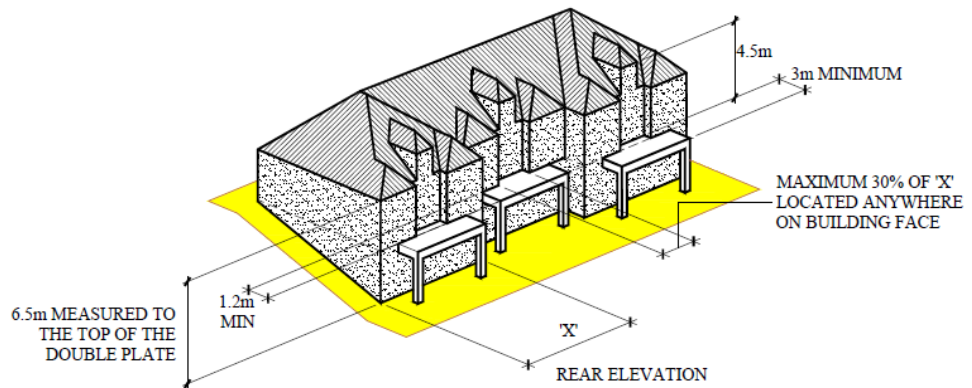
- (a) The maximum *height* is 9.5 m, except it is 4.5 m for **accessory buildings** and **structures**.



**Diagram 13.7: 9.5m Maximum Height As Measured From Straight Line Between Building Envelope Points**

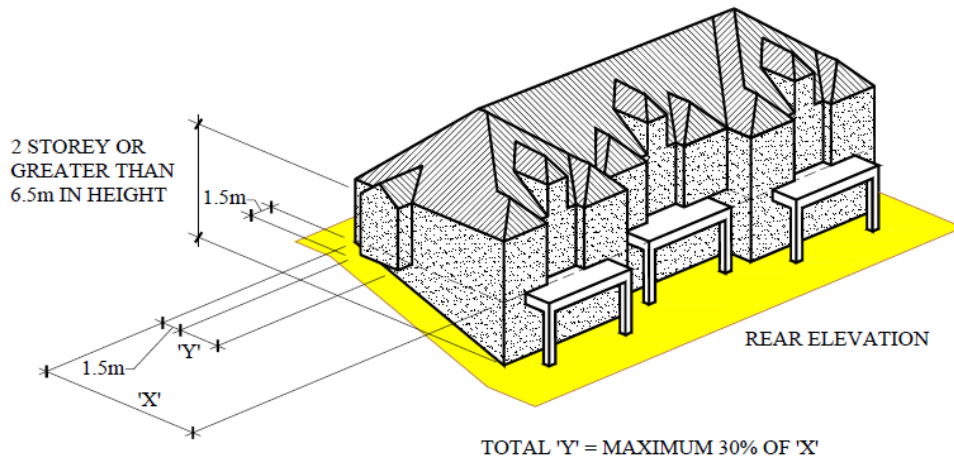
- (b) The maximum *height* of any vertical wall element facing a **front yard**, rear yard or flanking street (including walkout basements), as measured from the average *Building Grade* of the applicable building face, is the lesser of 6.5 m or 2 **storeys** above which the building must be stepped back a minimum of 2.1 m. A maximum of 30% of the length of the building elevation may exceed 6.5 m in *height* to a maximum of 9.5 m, provided that a deck and roof **structure** projecting a minimum

of 3.0 m from the face of the wall breaks up the wall face. No wall face directly above the deck and roof **structure** may exceed 6.5 m in *height*.



**Diagram 13.8: 6.5m Vertical Wall Element Interrupted by Deck**

- (c) Where any elevation of a building exceeds the lesser of 6.5 m or 2 **storeys** in *height*, that portion of the **side yard** elevation above the first storey must be stepped back an additional 1.5 m, as measured from the outside wall of the floor below. Dormers or enclosed stairways may project into this step back by 1.5 m provided that the sum of their lengths does not exceed 30% of the length of the elevation of that **storey**. These projections are not permitted within 1.5 m of the front or rear building elevations.



**Diagram 13.9: Sideyard Building Articulation**

- (d) All decks (including the supporting posts or columns) shall not exceed 4.5 m or 1 storey in *height* inclusive of any support **structure** or **retaining wall** (within a horizontal distance of 1.2 m) and shall be limited to 60% the width of the applicable building face. *Height* will be measured from the grade at the base of the deck, post, or column to the highest point of the deck, exclusive of railings.

- (e) The horizontal exterior wall face on the down slope elevation must be staggered or offset by a minimum of 1.2 m, a minimum of two times. For buildings containing more than one **dwelling** unit, this regulation applies to the entire down slope building elevation.
- (f) **Accessory buildings** and **structures** shall not exceed 4.5 m in *height*.
- (g) A maximum of 6 ground oriented **dwelling** units per building is permitted.

### 13.16.9 Other Regulations

- (a) No vehicle parking or storage is permitted in required **side yards**.
- (b) **Accessory buildings** and **structures** shall be set back 1.5m from any bareland strata **lot line**, and shall be a minimum of 4.5 m from any principal residential building.
- (c) An **accessory building** containing recreational amenities for the use of all residents shall conform to the setback requirements for principal buildings.
- (d) A minimum area of 7.5 m<sup>2</sup> of **private open space** shall be provided per **bachelor dwelling** or **group home bedroom**, 15.0 m<sup>2</sup> of **private open space** shall be provided per 1 bedroom **dwelling**, and 25.0 m<sup>2</sup> of **private open space** shall be provided per **dwelling** with more than 1 bedroom.
- (e) For bareland strata development, in addition to required yard areas and **private open space** requirements, a minimum of 10% of the site shall be **open space**.
- (f) In addition to the regulations listed above, other regulations may apply. These include the general **development** regulations of Section 6 (accessory development, yards, projections into yards, lighting, stream protection, etc.), the landscaping and fencing provisions of Section 7, the parking and loading regulations of Section 8, and the specific use regulations of Section 9.

## 13.17 RHM4 – Hillside Cluster Multiple Housing

### 13.17.1 Purpose

To provide a zone for comprehensively planned clusters of low rise low density **apartment housing** with urban services, typically in a strata format. The express goal is to minimize the impacts of development on the natural environment, topography, open space, and visual character of Kelowna. Site wide density including areas of voluntary dedication and protection is to be generally consistent with Low Density Multiple Housing – Hillside Official Community Plan future land use designation; however, the form and character of development may include low density **apartment housing**.

### 13.17.2 Definitions

Despite conflicting definitions found elsewhere in this bylaw, the following definitions shall apply for the purposes of interpreting the regulations of this zone:

*GRADE, BUILDING* means the elevation of the finished surface of the ground established in conformance with an approved subdivision grading plan, excluding localized depressions such as for vehicle or pedestrian entrances. **Retaining walls** shall not raise the effective elevation of grade for purposes of measuring *height* of a building or **structure**.

*HEIGHT* means, with respect to a building, the maximum vertical distance above a straight line drawn between the lowest corner of the front of the approved Building Envelope Covenant and the lowest corner of the rear of the approved Building Enveloped Covenant measured to the highest point of the **structure** of a non-sloping roof, or the mid-point between the eaveline and the ridge of a sloping roof, excluding those **structures** identified in Section 6.6.1 of this bylaw.

### 13.17.3 Principal Uses

- (a) **multiple dwelling housing**
- (b) **boarding or lodging housing**
- (c) **congregate housing**
- (d) **group home, major**
- (e) **supportive housing**

### 13.17.4 Secondary Uses

- (a) **agriculture, urban**
- (b) **care centres, major**
- (c) **home based businesses, minor**
- (d) **community recreation services**

### 13.17.5 Buildings and Structures Permitted

- (a) **apartment housing**
- (b) **row housing**
- (c) **stacked row housing**
- (d) permitted **accessory buildings** and **structures**

### 13.17.6 Subdivision Regulations

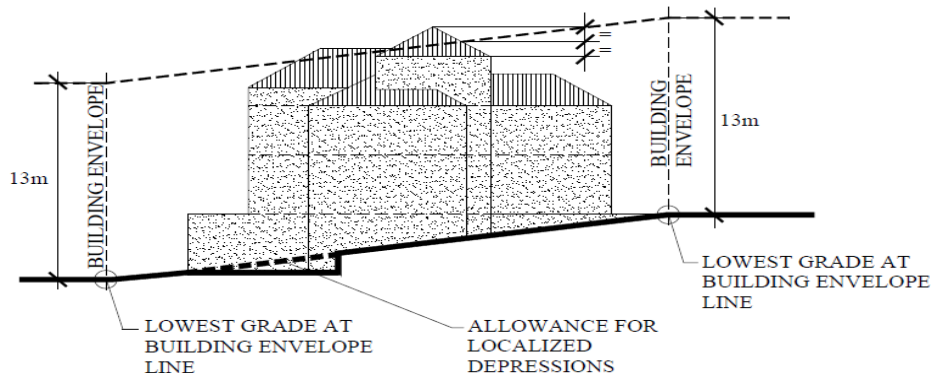
- (a) The minimum **site width** is 30.0 m.
- (b) The minimum **site depth** is 30.0 m.
- (c) The minimum **site area** is 5000 m<sup>2</sup>.

### 13.17.7 Development Regulations

- (a) The **maximum floor area** ratio is 0.5. Maximum density may be calculated using the original site area, but is dependent on the protection (dedicated or covenanted) of environmentally sensitive features, hazardous condition areas (including slopes greater than 30%), and visually significant features. It is possible that the maximum density may not be achievable on the resulting developable areas.
- (b) The maximum building **site coverage** is 40%, provided that the maximum **site coverage** of buildings, driveways, and parking areas is 50%. Those areas dedicated, covenanted or otherwise protected may not be used in calculating **site coverage**.
- (c) No building or **structure** is permitted within 4.5 m of a property line or protected area, except for required site **front yards**.
- (d) The minimum site **front yard** is 3.0 m except that it is 6.0 m measured from the back of curb or sidewalk, whichever is closest, to a garage or **carport** having vehicular entry from the front.
- (e) **Dwellings** or groups of **dwellings** must be separated by a minimum of 4.5 m. Vehicle parking or storage is not permitted in this area.

### 13.17.8 Building Form and Massing

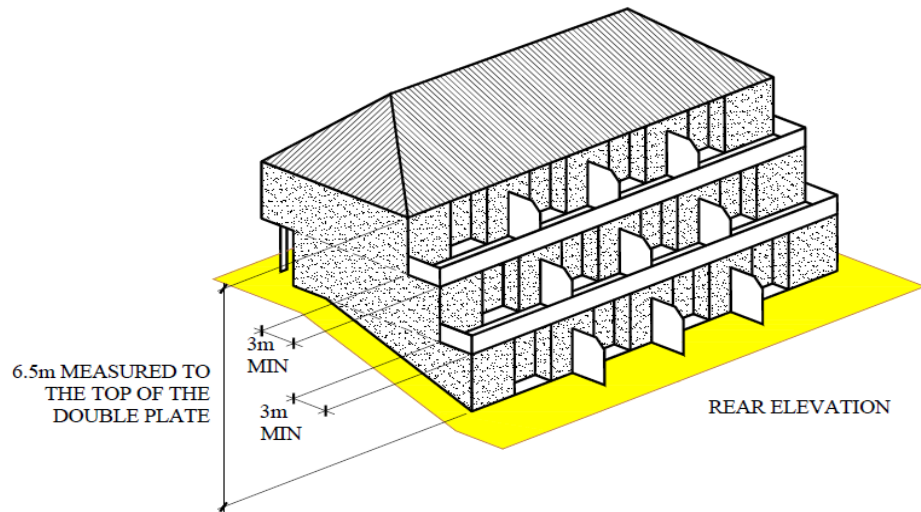
- (a) For **apartment housing**, the following Building Form and Massing regulations shall apply:
  - i. The maximum *height* is 13.0 m, except it is 4.5 m for **accessory buildings**.



**Diagram 13.10: 13 m Maximum Height As Measured From Straight Line Between Building Envelope Points**

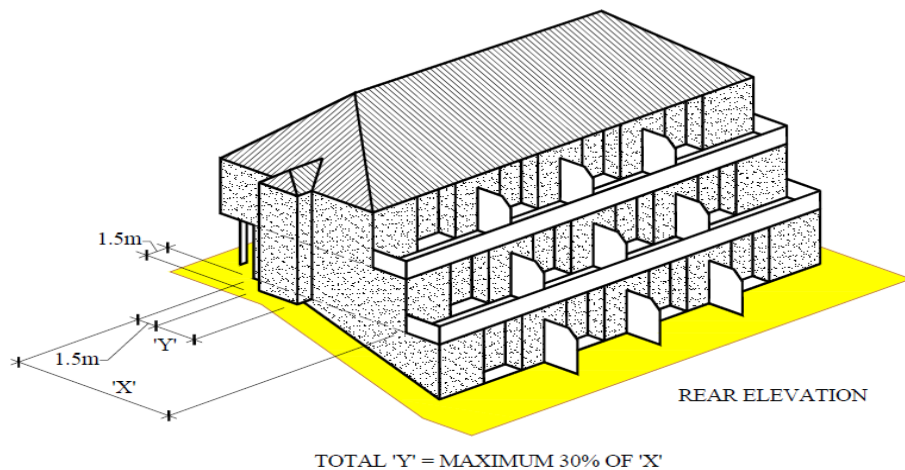


- ii. Despite 13.17.7(a)(i) and (iii), where a principal building is located entirely on a naturally flat bench having a natural grade of less than 10%, the maximum *height* is the lesser of 13.0 m or 3 **storeys**.
- iii. The maximum *height* of any vertical wall element facing down-slope or a flanking street (including walkout basements), as measured from *Building Grade*, is the lesser of 6.5 m or 2 **storeys**, above which the building must be stepped back by a minimum cumulative depth of no less than 4.0 m but an average of 6.0 m.



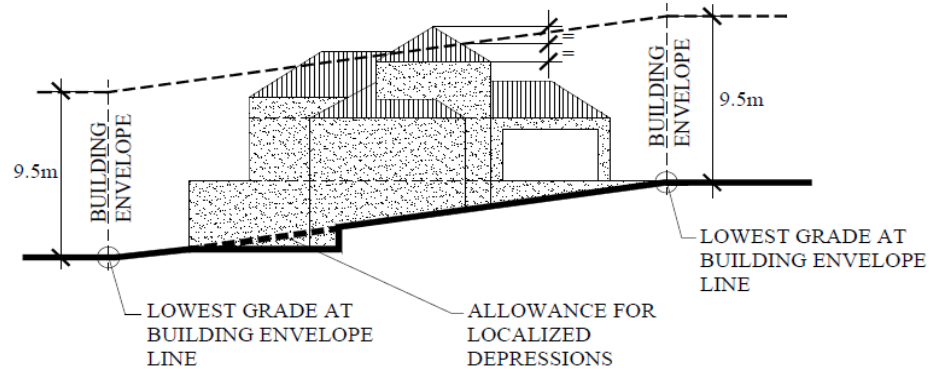
**Diagram 13.11: 6.5 m Vertical Wall Element Interrupted by Deck**

- iv. That portion of the **side yard** elevation above the second storey must be stepped back an additional 1.5 m as measured from the outside wall of the floor below. Dormers or enclosed stairways may project into this step back by 1.5 m provided that the sum of their lengths does not exceed 30% of the length of the elevation of that **storey**. These projections are not permitted within 1.5 m of the front or rear building elevations.



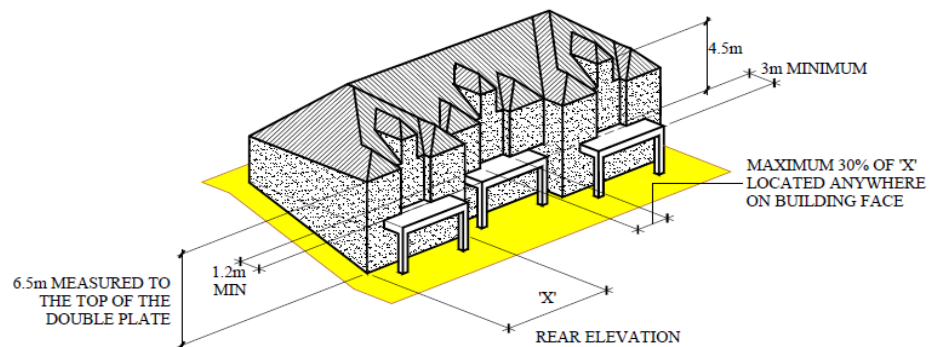
**Diagram 13.12: Sideyard Building Articulation**

- v. All decks (including the supporting **structure**) shall not exceed 6.5 m or 2 **storeys** in *height* inclusive of any support **structure** or **retaining wall** (within a horizontal distance of 1.2 m) and shall be limited to 60% the width of the down slope building face. *Height* will be measured from the grade at the base of the deck, post, or column to the highest point of the deck, exclusive of railings.
- (b) For **row housing** or **stacked row housing**, the following Building Form and Massing regulations shall apply:
  - i. The maximum *height* is 9.5 m, except it is 4.5 m for **accessory buildings**.



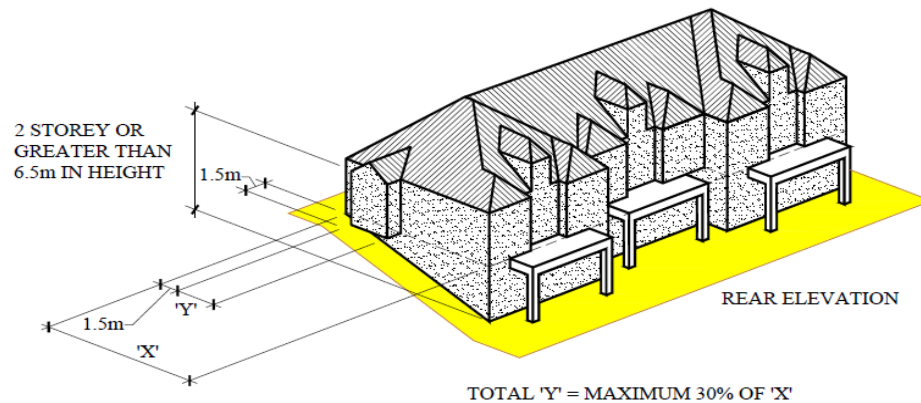
**Diagram 13.13: 9.5m Maximum Height As Measured From Straight Line Between Building Envelope Points**

- ii. The maximum *height* of any vertical wall element facing a **front yard**, rear yard or flanking street (including walkout basements), as measured from the average *Building Grade* of the applicable building face, is the lesser of 6.5 m or 2 **storeys** above which the building must be stepped back a minimum of 2.1 m. A maximum of 30% of the length of the building elevation may exceed 6.5 m in *height* to a maximum of 9.5 m, provided that a deck and roof **structure** projecting a minimum of 3.0 m from the face of the wall breaks up the wall face. No wall face directly above the deck and roof **structure** may exceed 6.5 m in *height*.



**Diagram 13.14: 6.5 m Vertical Wall Element Interrupted by Deck**

- iii. Where any elevation of a building exceeds the lesser of 6.5 m or 2 **storeys** in *height*, that portion of the **side yard** elevation above the first storey must be stepped back an additional 1.5 m, as measured from the outside wall of the floor below. Dormers or enclosed stairways may project into this step back by 1.5 m provided that the sum of their lengths does not exceed 30% of the length of the elevation of that storey. These projections are not permitted within 1.5 m of the front or rear building elevations.



**Diagram 13.15: Sideyard Building Articulation**

- iv. All decks (including the supporting posts or columns) shall not exceed 4.5 m or 1 storey in *height* inclusive of any support **structure** or **retaining wall** (within a horizontal distance of 1.2 m) and shall be limited to 60% the width of the applicable building face. *Height* will be measured from the grade at the base of the deck, post, or column to the highest point of the deck, exclusive of railings.
- (c) The horizontal exterior wall face on the down slope elevation must be staggered or offset by a minimum of 1.2 m, a minimum of two times.
- (d) **Accessory buildings** and **structures** shall not exceed 4.5 m in *height*.

### 13.17.9 Other Regulations

- (a) A minimum area of 7.5 m<sup>2</sup> of **private open space** shall be provided per bachelor **dwelling**, congregate housing bedroom or group home bedroom, 15.0 m<sup>2</sup> of **private open space** shall be provided per 1 bedroom **dwelling**, and 25.0 m<sup>2</sup> of **private open space** shall be provided per **dwelling** with more than 1 bedroom.
- (b) No continuous building frontage shall exceed 40.0 m for a building 3 **storeys** or greater, or 65.0 m for a 2 **storey** building.
- (c) **Accessory buildings** and **structures** shall be set back 1.5 m from any **lot line**, and shall be a minimum of 4.5 m from any principal residential building.
- (d) An **accessory building** containing recreational amenities for the use of all residents shall conform to the setback requirements for principal buildings.
- (e) In addition to the regulations listed above, other regulations may apply. These include the general development regulations of Section 6 (accessory development, yards, projections into yards, lighting, stream protection, etc.), the

landscaping and fencing provisions of Section 7, the parking and loading regulations of Section 8, and the specific use regulations of Section 9.